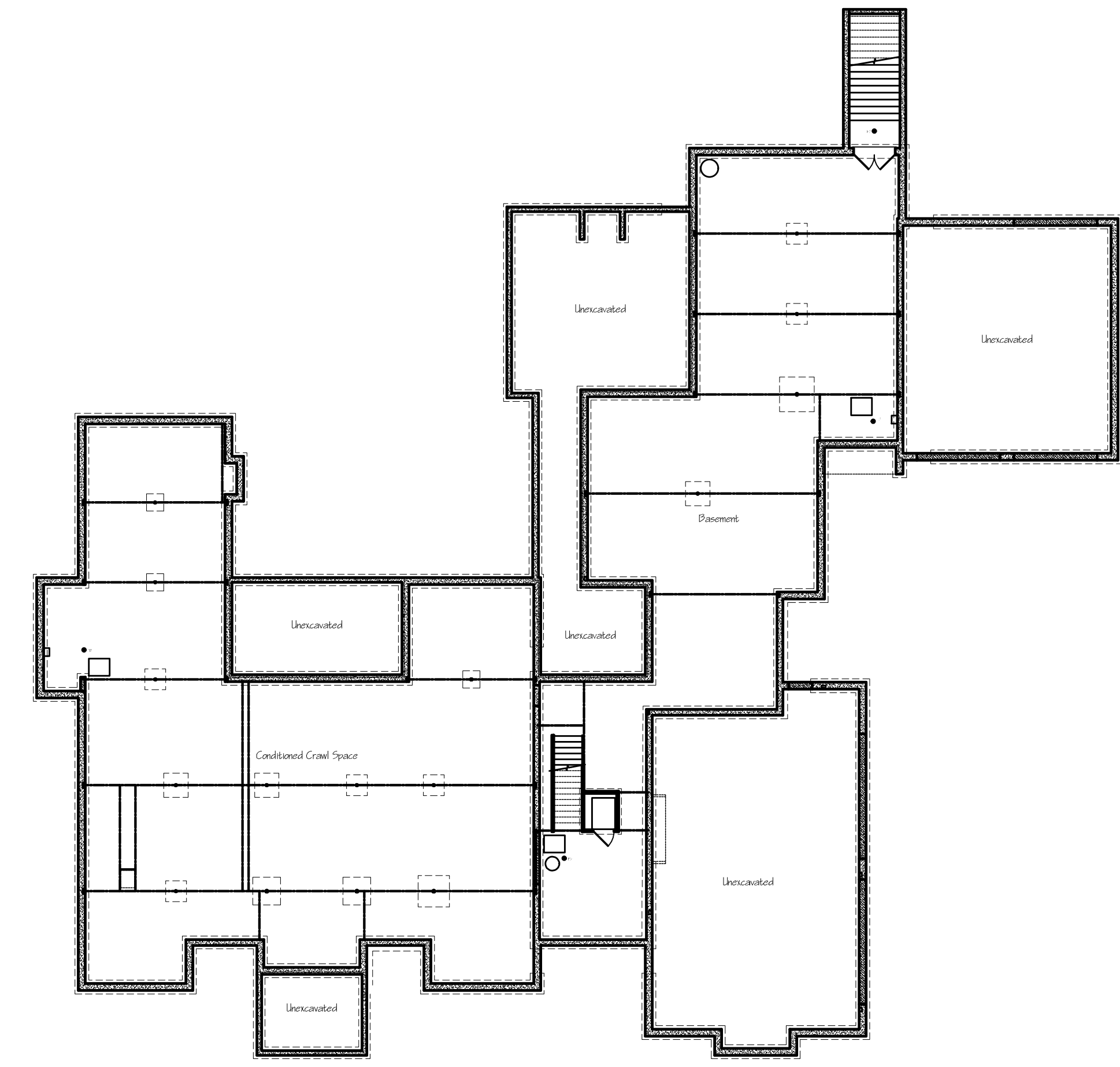
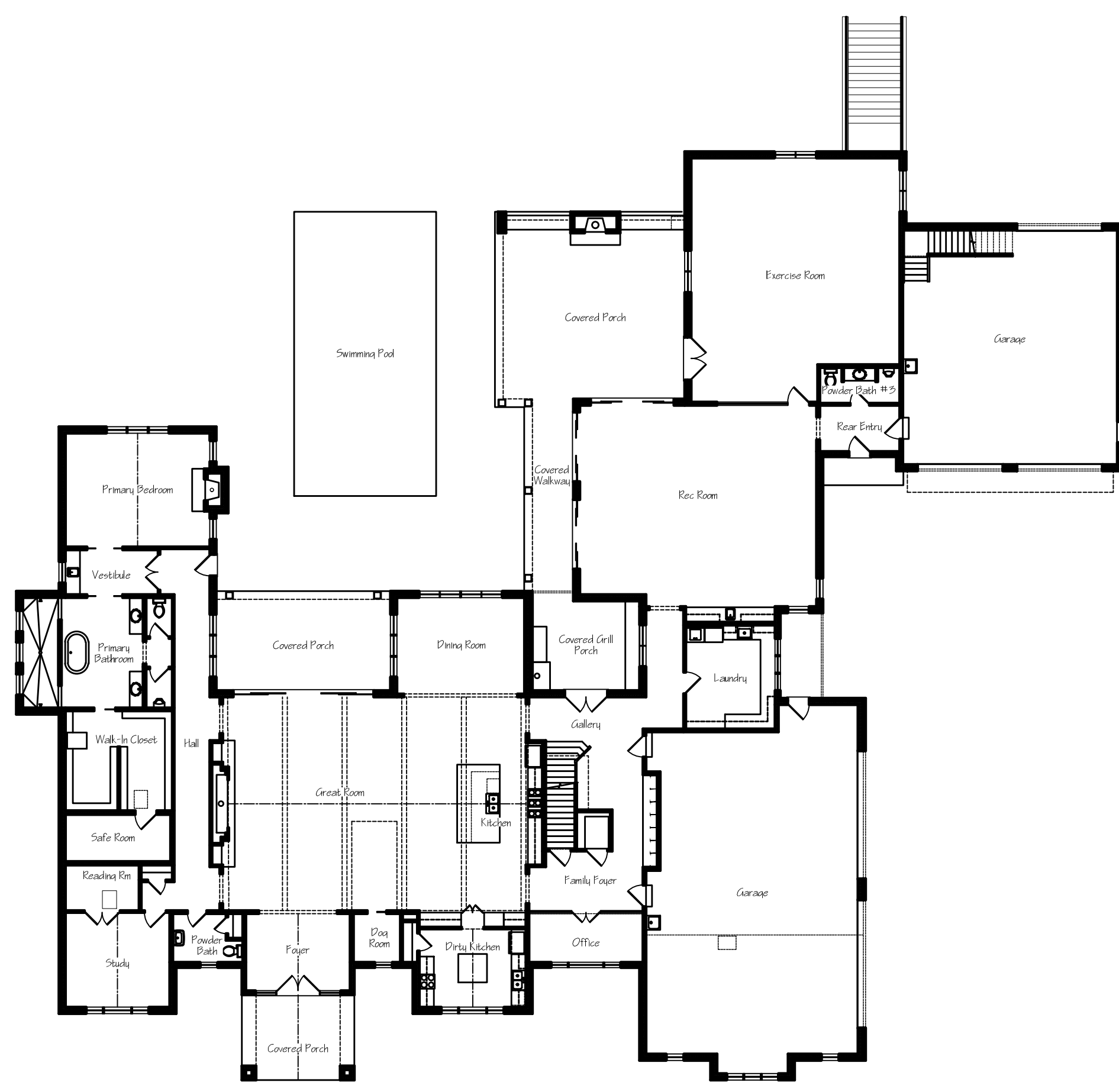


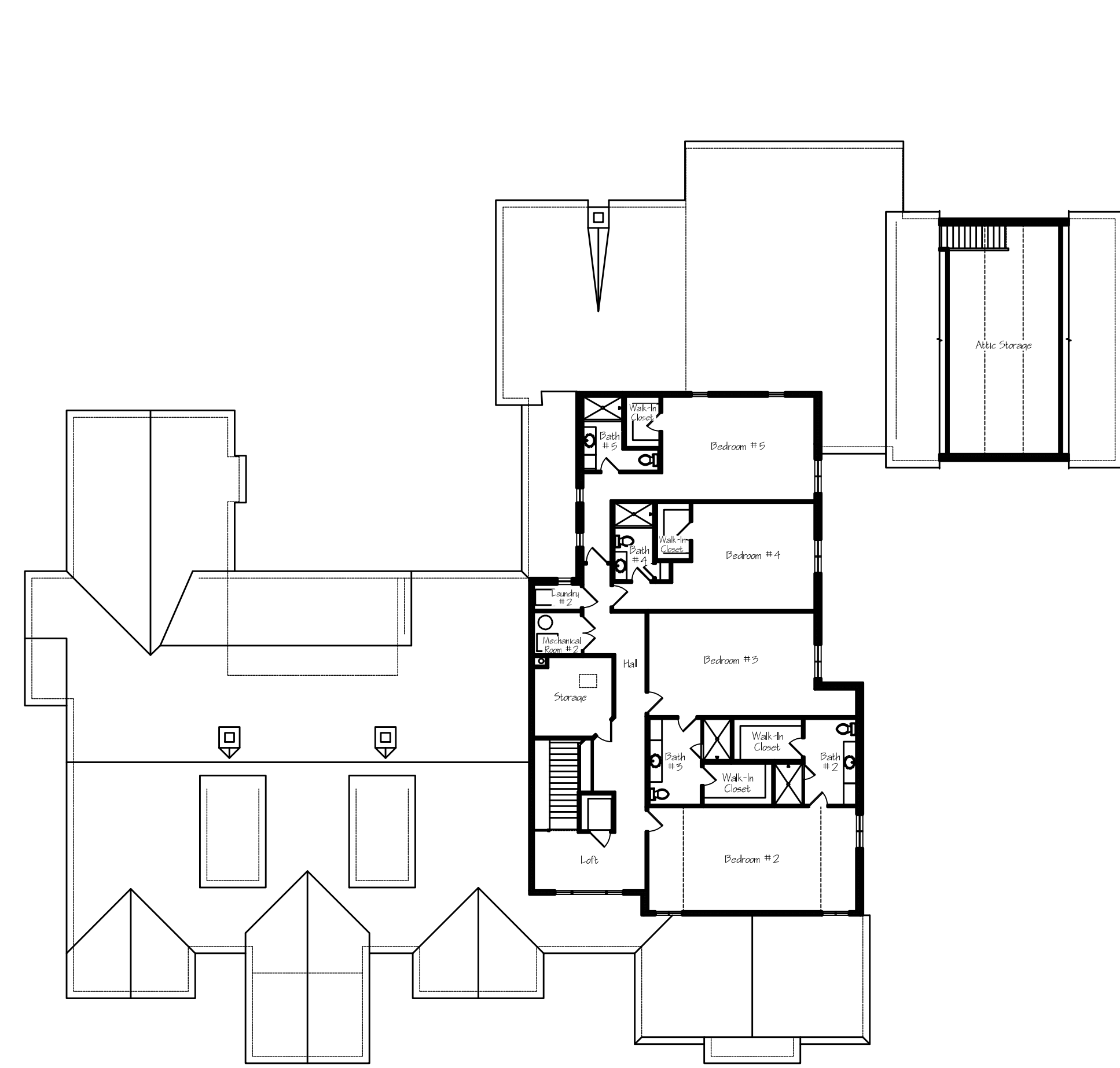
Front Elevation
Scale 1/4" = 1'-0"



Lower Level Floor Plan
Not to Scale



First Floor Plan
Not to Scale



Second Floor Plan
Not to Scale

Brick Lintel Schedule			
Clear Span	Lintel Size	Reinforcing	
6'-0"	2"x12"x12"	6"	
7'-0"	2"x12"x12"	6"	
8'-0"	2"x12"x12"	6"	
10'-0"	2"x12"x12"	7"	
11'-0"	2"x12"x12"	7"	
12'-0"	2"x12"x12"	8"	
13'-0"	2"x12"x12"	8"	
14'-0"	2"x12"x12"	8"	

NOTE:
ALL LINTELS TO BE FINISHED PRIOR TO INSTALLATION.
LINTEL SCHEDULE IS TYPICAL UNLESS NOTED OTHERWISE
ON PLAN.
LINTEL TO BE SET LONG LEG VERTICAL.

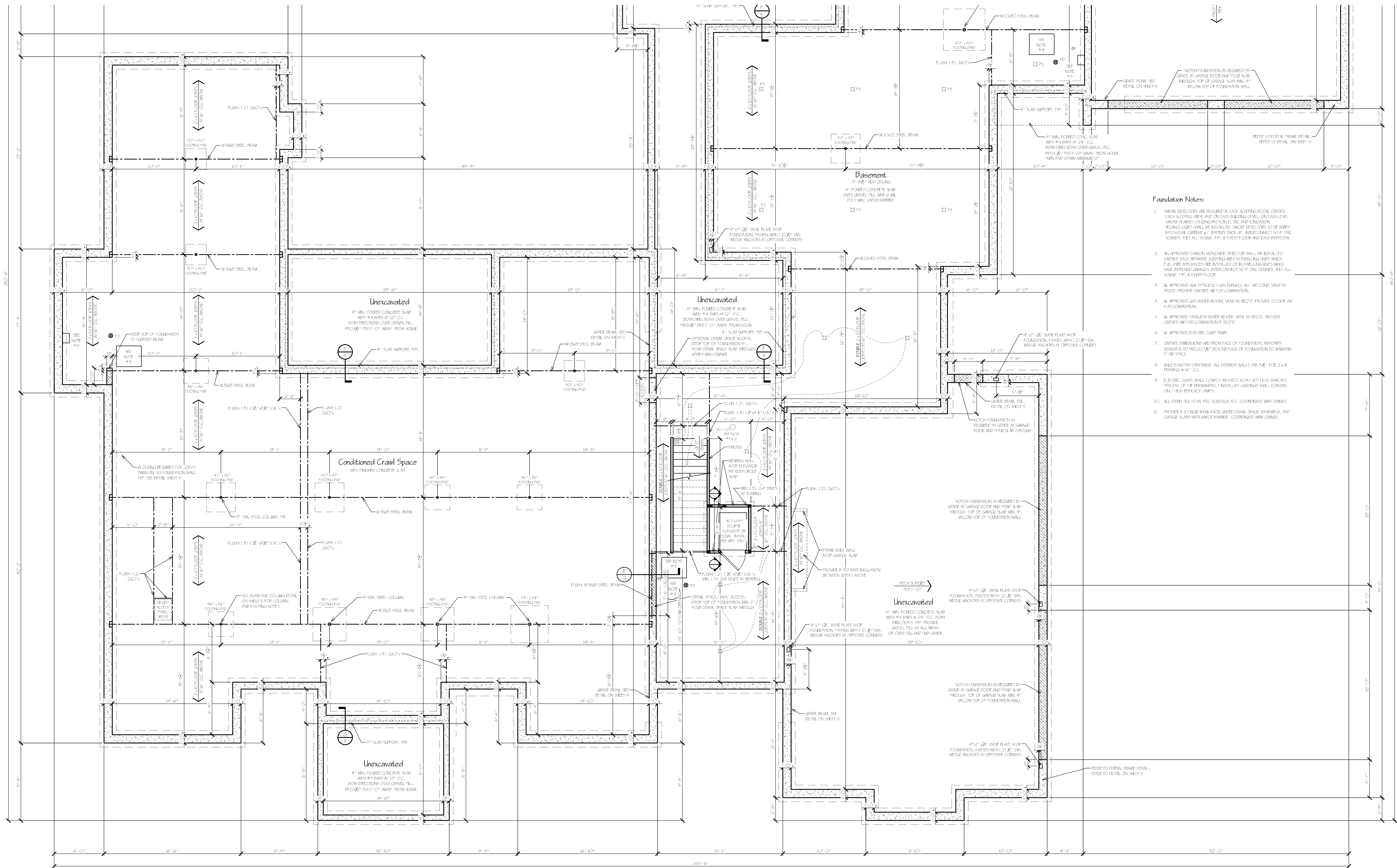
Key to Materials	
	EARTH
	CONCRETE
	GRAVEL
	CONCRETE BLOCK
	BRICK
	ROUGH WOOD FRAMING
	FINISHED WOOD
	BATT / BLOWN INSULATION
	STONE

Detail Reference System	
	DETAIL SYMBOL SHEET DETAIL DRAWN ON
	BUILDING SECTION SHEET SECTION DRAWN ON
	DETAIL TITLE SHEET DETAIL DRAWN FROM

- GENERAL NOTES**
Home Plans designed in compliance with 2019 Residential Code of Ohio (RCO) one and two family dwelling code. Energy code compliance with prescriptive method per table 110.0.1 of RCO.
- I. DESIGN LOADS**
First floor 40 p.s.f. live load
10 p.s.f. dead load
Second floor 40 p.s.f. live load
10 p.s.f. dead load
Roof 20 p.s.f. snow
10 p.s.f. bottom cord live load
17 p.s.f. dead load
Soil pressure 1500 p.s.f.
Garage Slab 50 p.s.f. live load
Deck / Porch 10 p.s.f. dead load
Wind Speed 115 MPH
Maximum Deflection Limits:
Floor L / 360, Wall L / 240, Roof Beams L / 240
Exposed rafters with less than 12° pitch L / 240
Exposed rafters with greater than 12° pitch L / 180
- NOTE:** Verify design loads with local codes & site conditions. Check with local building dept. officials or specific loading conditions.
Contractor is to verify that the soil & site conditions are in accordance with RCO 401. Soils testing is not the responsibility of the designer. All design work is based on solid, well draining and non-expansive soil with a min. bearing capacity of 1500 p.s.f. If soil and site conditions do not meet this requirement, additional engineering by soils & structural engineer will be required prior to construction. Additional engineering is not the responsibility of the designer.
- II. CONCRETE**
A. Unless otherwise noted, all exterior slabs on grade (including garage slabs) shall be 3500 p.s.i. min. & interior slabs shall be 2500 p.s.i. min. (28 day compressive strength) concrete on 4" compacted gravel fill. Interior slabs shall be placed on 6" m polyethylene vapor barrier.
B. All foundation walls and footings shall be 3000 p.s.i. (28 day compressive strength).
C. Foundation walls, garage slabs and exterior concrete shall have: 5% min. / 7% max. air entrainment.
D. Foundation drainage is to comply with RCO 405. A sump pump may be required on 4" compacted gravel fill. Interior slabs shall be placed on 6" m polyethylene vapor barrier.
E. The finished grade shall slope away from foundation walls 6" min. in the first 10'-0" run. Top of grade shall be at least 6" min. below top of foundation or as req'd by siding or drywall. Weep holes shall be provided at 30'-0" max. max.
F. Foundation walls that retain earth and enclose habitable or usable spaces below grade shall be waterproofed. Waterproofing shall be used if a high water table and/or other severe soil conditions are known to exist.
- III. FOUNDATIONS**
A. Verify depth of frost footings with local codes.
B. Unless otherwise noted, foundation walls shall be poured concrete, see reinforced foundation details.
C. Provide termite control protection as required by RCO 318.
D. Foundation drainage is to comply with RCO 405. A sump pump may be required on 4" compacted gravel fill. Interior slabs shall be placed on 6" m polyethylene vapor barrier.
E. The finished grade shall slope away from foundation walls 6" min. in the first 10'-0" run. Top of grade shall be at least 6" min. below top of foundation or as req'd by siding or drywall. Weep holes shall be provided at 30'-0" max. max.
F. Foundation walls that retain earth and enclose habitable or usable spaces below grade shall be waterproofed. Waterproofing shall be used if a high water table and/or other severe soil conditions are known to exist.
- IV. STRUCTURAL STEEL**
A. All structural steel shall conform with ASTM Spec. A-36.
- V. CARPENTRY**
A. Unless otherwise noted, all 2x4 & 2x6 framing lumber shall be Spruce Pine Fir #2 or equal. All 2x6, 2x10, and 2x12 framing shall be Southern Pine No. 1 grade. Beams & headers shall have a min. allowable bending stress of 1500 p.s.i. for 2x10's and 1250 p.s.i. for 2x12's. All 2x4's and 2x6's shall have a minimum bending stress of 1000 p.s.i. for 2x4's and 1240 for 2x6's. All 2x10's and 2x12's shall have a minimum bending stress of 1500 p.s.i. for 2x10's and 1240 for 2x12's. All 2x4's and 2x6's shall have a minimum bending stress of 1000 p.s.i. for 2x4's and 1240 for 2x6's. All 2x10's and 2x12's shall have a minimum bending stress of 1500 p.s.i. for 2x10's and 1240 for 2x12's.
B. All wall plates to be Spruce Pine Fir #2 or equal, min. Fv = 425 p.s.i.
C. Gypsum board design values are: Fb = 2400 p.s.i., Fv = 195 p.s.i., E = 1,800,000 p.s.i. Minimum design values may be substituted. Minimum (3) cripple studs at each end unless otherwise noted on plan. Verify multiple manufacturer.
D. Laminated veneer lumber beams (L.V.L.) design base values are: Fb = 2600 p.s.i., Fv = 285 p.s.i., E = 1,800,000 p.s.i. Fb values may be less than 2600 p.s.i. for beam sizes greater than 12" tall, verify design with manufacturer. Minimum design values may be substituted. Minimum (3) cripple studs at each end unless otherwise noted on plan. Verify multiple manufacturer.
E. Girders to have (1) 2x4 cripple stud for every 2231 pounds of end reaction, in 2x4 walls & (1) 2x6 cripple stud for every 3506 pounds of end reaction, in 2x6 walls. See truss mfg. specs for details. When bearing studs required across both of girders, provide Simpson T.B.E. Truss Bearing Enhancers, shaft per mfr. specs.
- SQUARE FOOTAGE INDEX**
1st Floor Living - 7274 sf
Garage - 2587 sf
Front Porch - 464 sf
Rear Covered Porches - 1426 sf
2nd Floor Living - 3130 sf
Unfinished Lower Level - 2885 sf
- INDEX TO DRAWINGS**
Sheet Drawings
#1 Front Elevation
#2 1st Floor Foundation Plan
#2 2nd Floor Foundation Plan
#3 1st Floor First Floor Plan
#3 2nd Floor First Floor Plan
#4 Details, Sections
#5 Star Details, Window Details, Fireplace Sections
#6 Cabinet Layouts, Stucco Details
#6 Roof Plan, Truss Profiles
#11 Side Elevations
#12 Rear Elevations, Details
- VI. MASONRY**
A. Masonry veneer walls shall be separated from the sheathing by an air space of a min. of a nominal 1".
B. Flashing shall be located beneath the first course of masonry above finished grade above the foundation wall or slab and at other points of support including roof intersections & joints.
C. Weep holes shall be provided at a maximum spacing of 33" O.C. Weep holes shall not be less than 3/16" in diameter & shall be located immediately above flashing.
D. Masonry veneer shall be anchored to the supporting wall with corrosion-resistant metal ties. Each tie shall be spaced not more than 16" O.C. horizontal & 24" O.C. vertical. Additional ties shall be provided around all wall openings greater than 16" in either direction. Metal ties around the perimeter of openings shall be spaced not more than 3 feet on center and placed within 12 inches of the opening.
- VII. MISCELLANEOUS**
A. Unless otherwise noted, provide:
1. Install craft faced insulation batts in exterior walls or install polyethylene vapor barrier against inside (warm in winter side) of unfaced batt wall insulation.
2. Insulating double glazing (U-Value .30 max.) at all exterior glass areas. Interior and exterior glass areas shall be insulated with Styrofoam, polystyrene or other insulating material. The minimum net clear opening width dimension shall be 24 inches. The minimum net clear opening width dimension shall be 24 inches.
B. The working drawings do not provide specific detail and workmanship requirements in areas including but not limited to flashing, caulking, painting, staining, soils, drywall, waterproofing, concrete curing, pleasant and finishing. Builder is responsible for providing superior workmanship in all areas of construction.
C. It shall be the owner's responsibility to review materials and products specified on drawings (and match to existing building if applicable) and verify the same with contractors prior to installation.
D. All exterior wall penetrations are to be flashed or caulked in accordance with manufacturer's instructions provided by exterior wall manufacturer (i.e. brick, siding, or dryvit etc.).
E. Dryvit is to be installed according to manufacturer's instructions. Refer to the dryvit tubular reference guide. Builders shall comply with Dryvit, EPSF or the most current specification for Dryvit.
F. Exterior siding to be installed over weather resistant membrane per siding mfr. specs. Flashing on vertical & horizontal siding joints per siding mfr. specs.
G. Provide GFCI A/C/A & tamper resistant receptacles @ all locations req'd per 2017 National Electric Code.

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NO.	REVISIONS	DATE
1	Increased wall width from powder to primary suite; removed alcove at study; changed electrical panel to reading room;	08-12-25
	added door from family room to garage; increased number of cabinets; revised gallery, half bath, & closet to include covered grill porch; added fash chimney; removed uncovered porch at front; revised accessible doors to min. 2'-3" wide; added note to state all doors to be 3' tall per owner's request	
DRAWN BY: BAR		DATE: 11-21-24



Front Foundation Plan
Scale 1/4" = 1'-0"

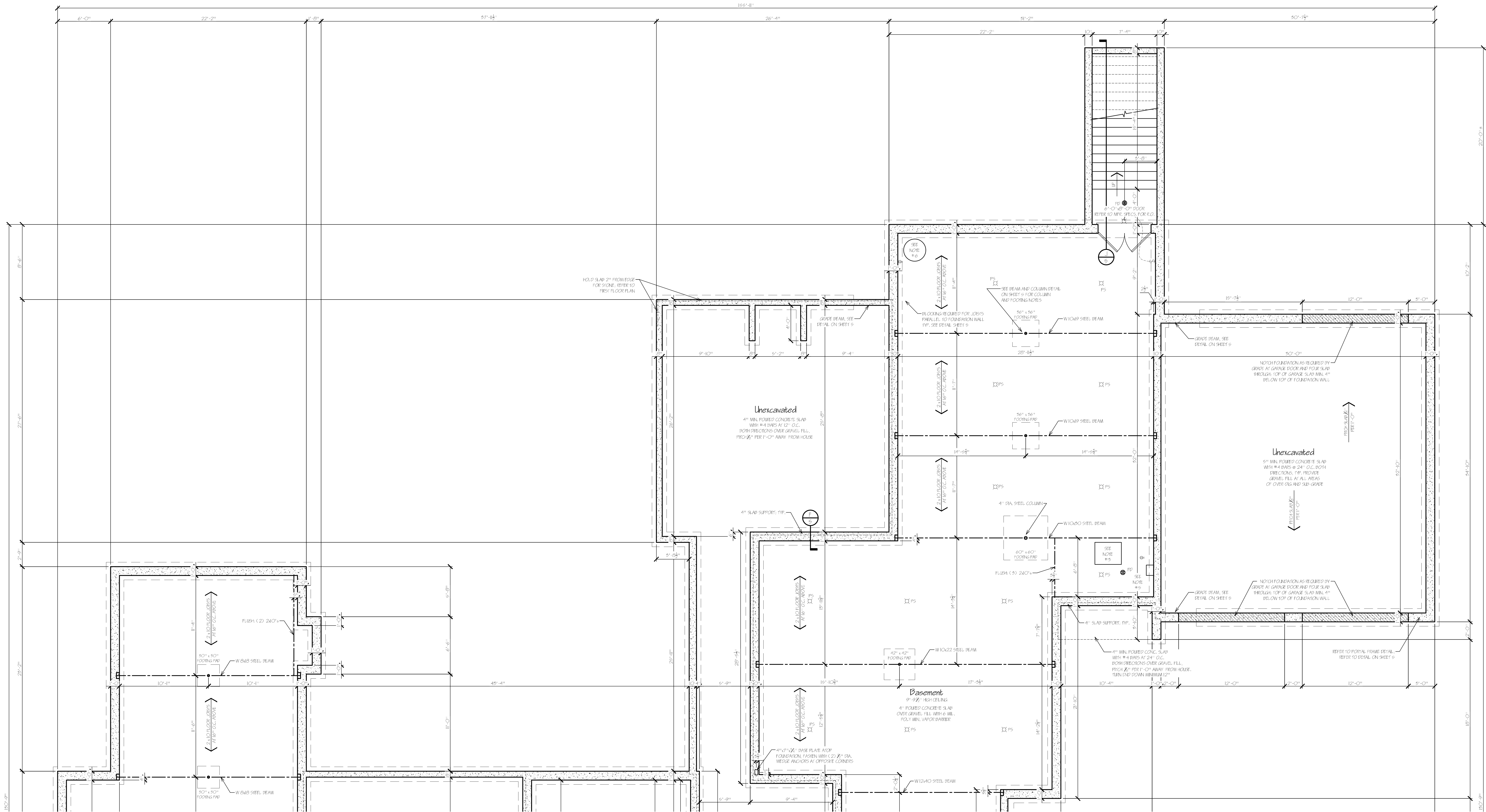
- Foundation Notes:
1. SMOKE DETECTORS ARE REQUIRED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA, AND ON EACH BUILDING LEVEL, ON EACH LEVEL. SMOKE ALARMS INCLUDING PHOTOELECTRIC AND IONIZATION. REGRAND LOOPS SHALL BE INSTALLED. SMOKE DETECTORS TO BE WIRED INTO HOUSE CURRENT W/ BATTERY BACK-UP. INTERCONNECT SO IF ONE SOUNDS, THEY ALL SOUND. TYP. @ EVERY FLOOR.
 2. AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN DWELLING UNITS WHICH FILE-TYPE APPLIANCES ARE INSTALLED OR IN DWELLING UNITS WHICH HAVE ATTACHED GARAGES. INTERCONNECT SO IF ONE SOUNDS, THEY ALL SOUND. TYP. @ EVERY FLOOR.
 3. UL APPROVED HIGH EFFICIENCY GAS FURNACE W/ AIR COND. VENT AS REQ'D. PROVIDE OUTSIDE AIR FOR COMBUSTION.
 4. UL APPROVED GAS WATER HEATER. VENT AS REQ'D. PROVIDE OUTSIDE AIR FOR COMBUSTION.
 5. UL APPROVED TANKLESS WATER HEATER. VENT AS REQ'D. PROVIDE OUTSIDE AIR FOR COMBUSTION IF REQ'D.
 6. UL APPROVED ELECTRIC SUMP PUMP.
 7. OUTSIDE DIMENSIONS ARE FROM FACE OF FOUNDATION MASONRY. VENER IS TO PROJECT 1/2" BEYOND FACE OF FOUNDATION TO MAINTAIN 1" AIR SPACE.
 8. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS ARE 3/4" FOR 2 x 4 FRAMING @ 16" O.C.
 9. ELECTRIC LIGHTS SHALL COMPLY WITH RES'D RICH 101 NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS.
 10. ALL DRAIN TILE TO BE PVC SCHEDULE 40. COORDINATE WITH OWNER.
 11. PROVIDE R-10 RADI INSULATION UNDER CRAWL SPACE, BASEMENT, AND GARAGE SLABS WITH VAPOR BARRIER. COORDINATE WITH OWNER.

Residence For
Sean & Janet Litherland
Lot #1, Meadowbrook Estates, Mason, OH 45040

Sheet
2.1

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NO.	REVISIONS	DATE	DRAWN BY: BAR	DATE: 11-21-24
1	Increased hall width from powder to primary suite; removes adobe at study; changed electrical room to reading room;	08-12-25		
	added door from family foyer to garage; increased number of doors from 1 to 2; added new chimney to rear wall to cover grill room; added front chimney to cover uncovered porch at front; revised accessible doors to min. 2'-8" wide; added note to state all doors to be 3" tall per owner's request			

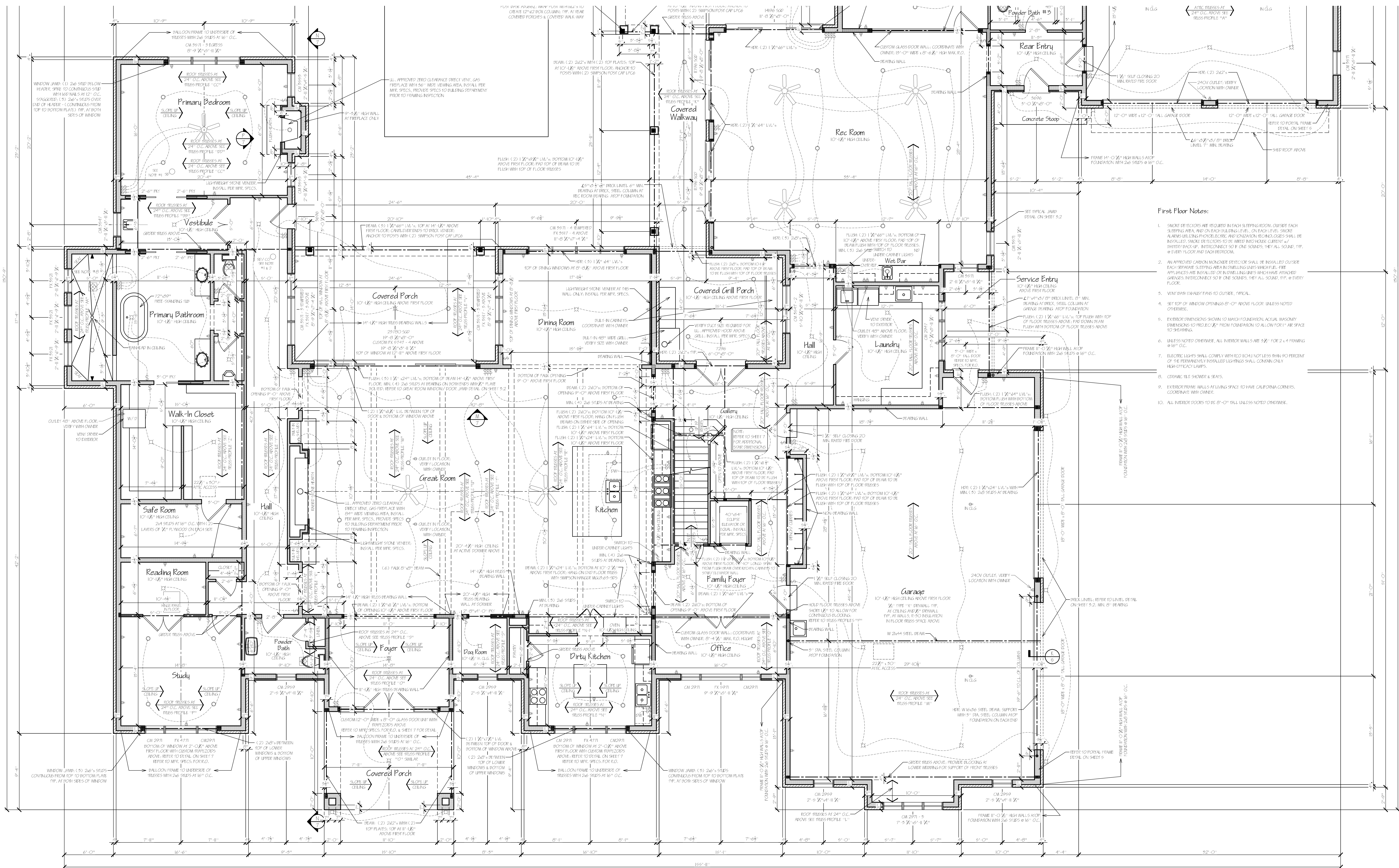


Rear Foundation Plan
Scale 1/4" = 1'-0"

Residence For
Sean & Janet Litherland
Lot #1, Meadowbrook Estates, Mason, OH 45040

NO.	REVISIONS	DATE	DRAWN BY: BAR		DATE: 11-21-24	
1	Revised plan with ramp parallel to primary entry driveway. Added door from family room to garage. Increased number of parking spaces from 10 to 12. Revised dimensions to include all parking spaces, including ramp changes. Revised layout of ramp.	08-12-25				

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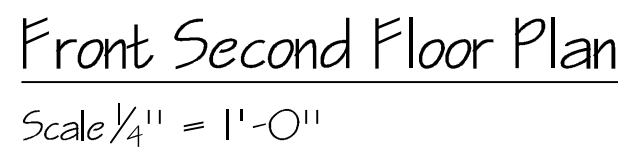


Front First Floor Plan
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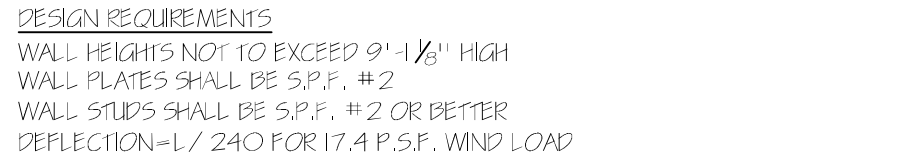
First Floor Notes:

1. SMOKE DETECTORS ARE REQUIRED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA, AND ON EACH BUILDING LEVEL. ON EACH LEVEL, SMOKE ALARMS BUILDING CODE REQUIREMENTS. SMOKE DETECTORS SHALL BE INSTALLED SMOKE DETECTORS TO BE WIRED INTO HOUSE CURRENT & BATTERY BACK-UP. INTERCONNECT SO IF ONE SOUNDS, THEY ALL SOUND. 11P. @ SLEEPING FLOOR AND EACH BEDROOM.
2. AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN DWELLING UNITS WHICH HAVE ATTACHED GARAGES. INTERCONNECT SO IF ONE SOUNDS, THEY ALL SOUND. 11P. @ SLEEPING FLOOR AND EACH BEDROOM.
3. VENT BATH EXHAUST FANS TO OUTSIDE, TYPICAL.
4. SET TOP OF WINDOW OPENINGS 8'-0" ABOVE FLOOR UNLESS NOTED OTHERWISE.
5. EXTERIOR DIMENSIONS SHOWN TO MATCH FOUNDATION. ACTUAL MASONRY DIMENSIONS TO PROJECT 1/2" FROM FOUNDATION TO ALLOW FOR 1" AIR SPACE TO SEPARATING.
6. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS ARE 5/8" FOR 2 x 4 FRAMING @ 16" O.C.
7. ELECTRIC LIGHTS SHALL COMPLY WITH RED BOMB 10% LESS THAN PERCENT OF THE PERMANENTLY INSTALLED LIGHTINGS SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS.
8. CERAMIC TILE SHOWER & BATHS.
9. EXTERIOR FRAME WALLS AT LIVING SPACE TO HAVE CALIFORNIA CORNERS. COORDINATE WITH OWNER.
10. ALL INTERIOR DOORS TO BE 8'-0" TALL UNLESS NOTED OTHERWISE.

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Front Second Floor Plan
Scale $\frac{1}{4}" = 1'-0"$

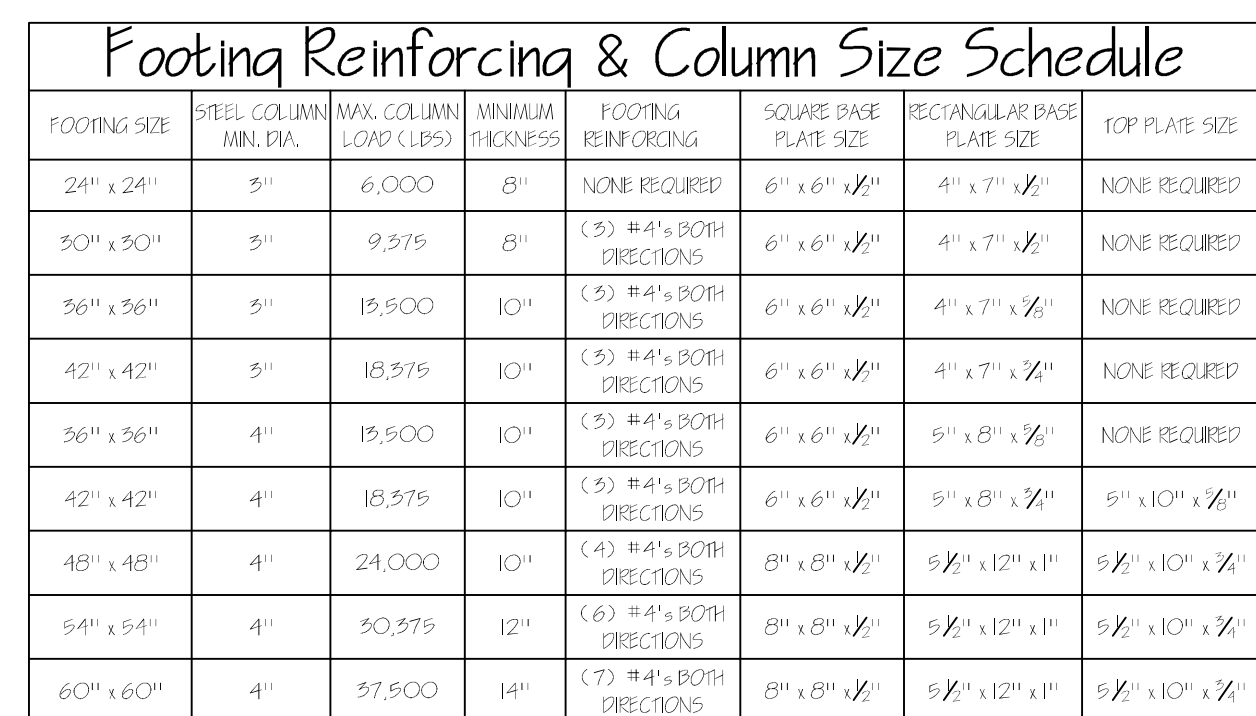
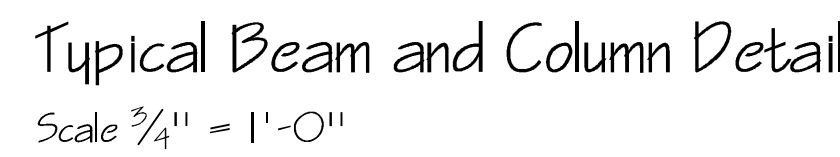
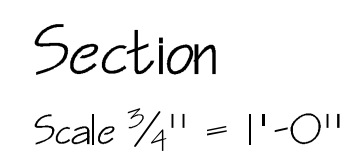
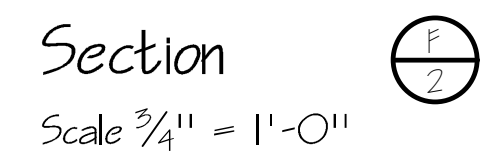
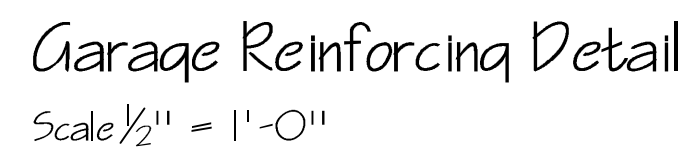
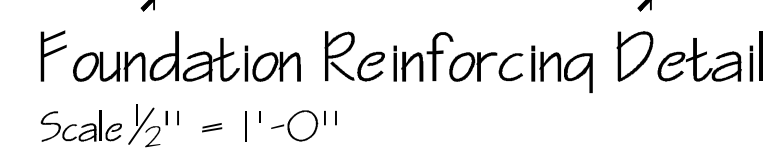
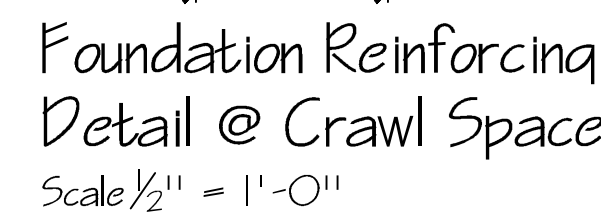
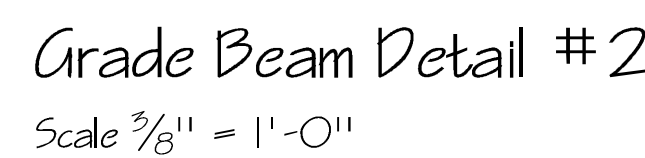
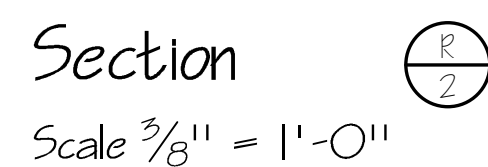
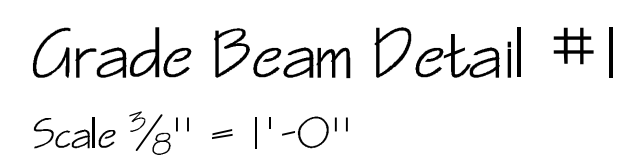
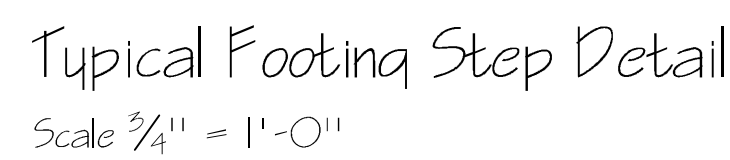


Typical 2 x 6 Window & Door Jamb Detail

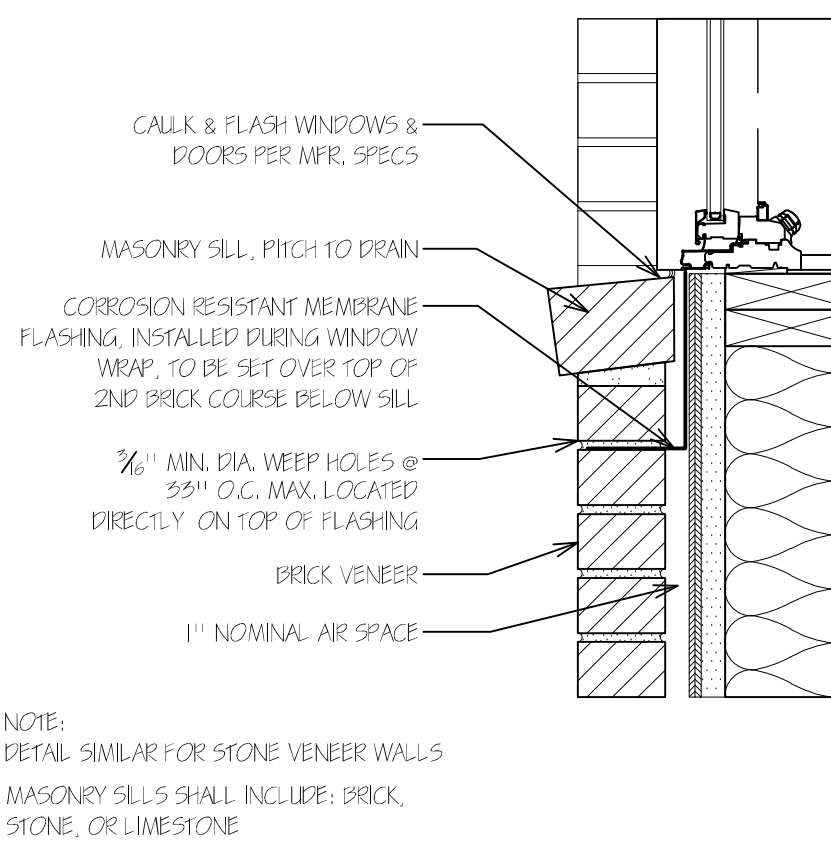
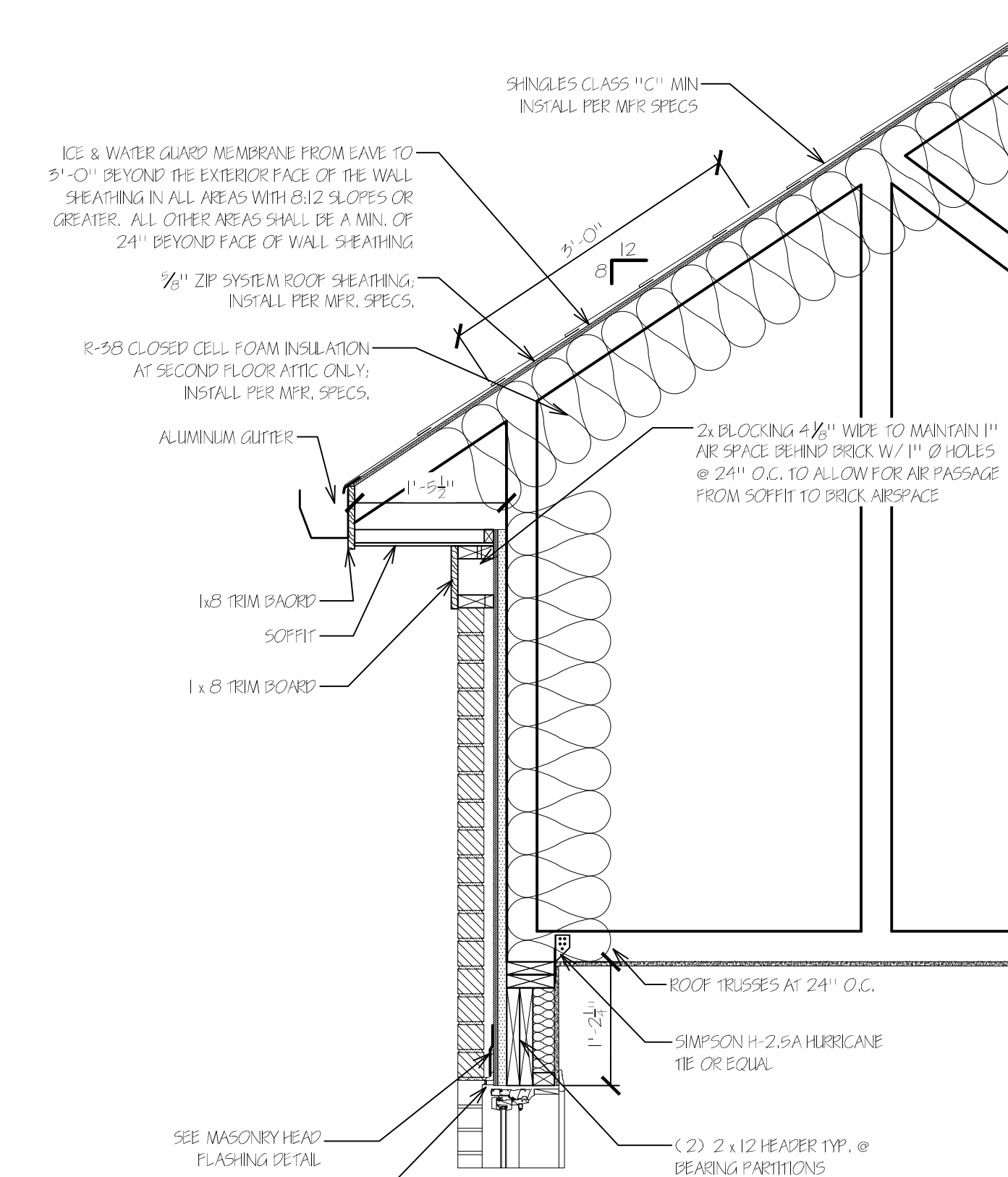
Scale $1\frac{1}{2}'' = 1'-0''$



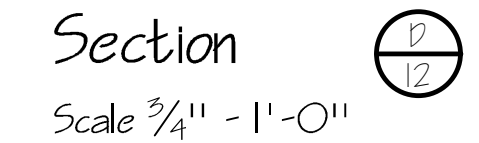
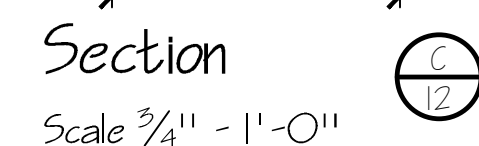
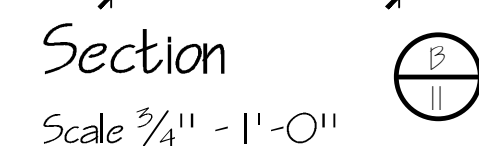
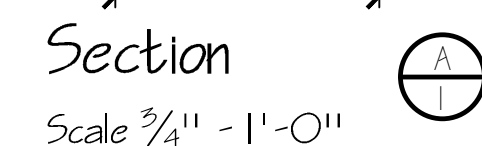
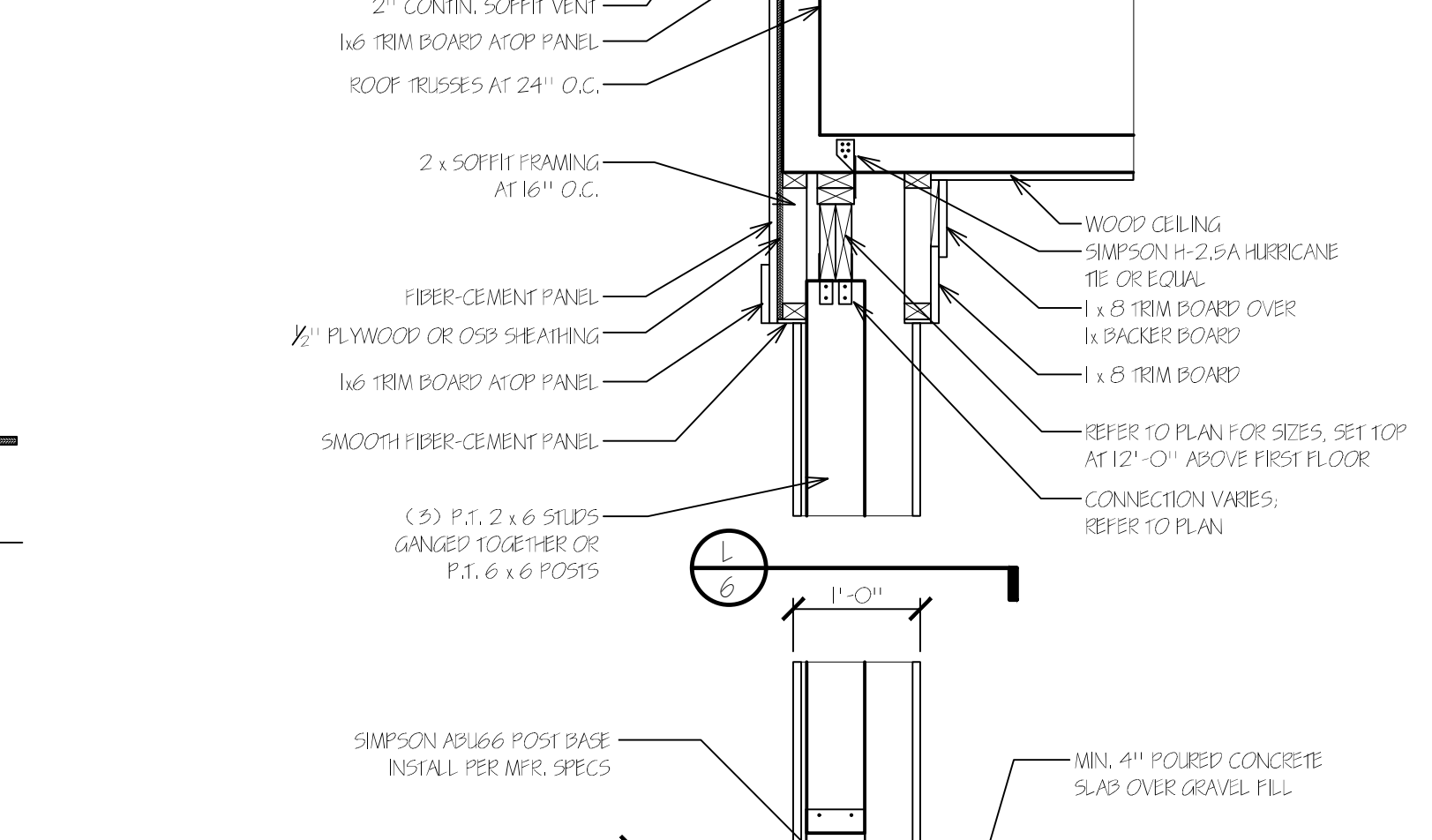
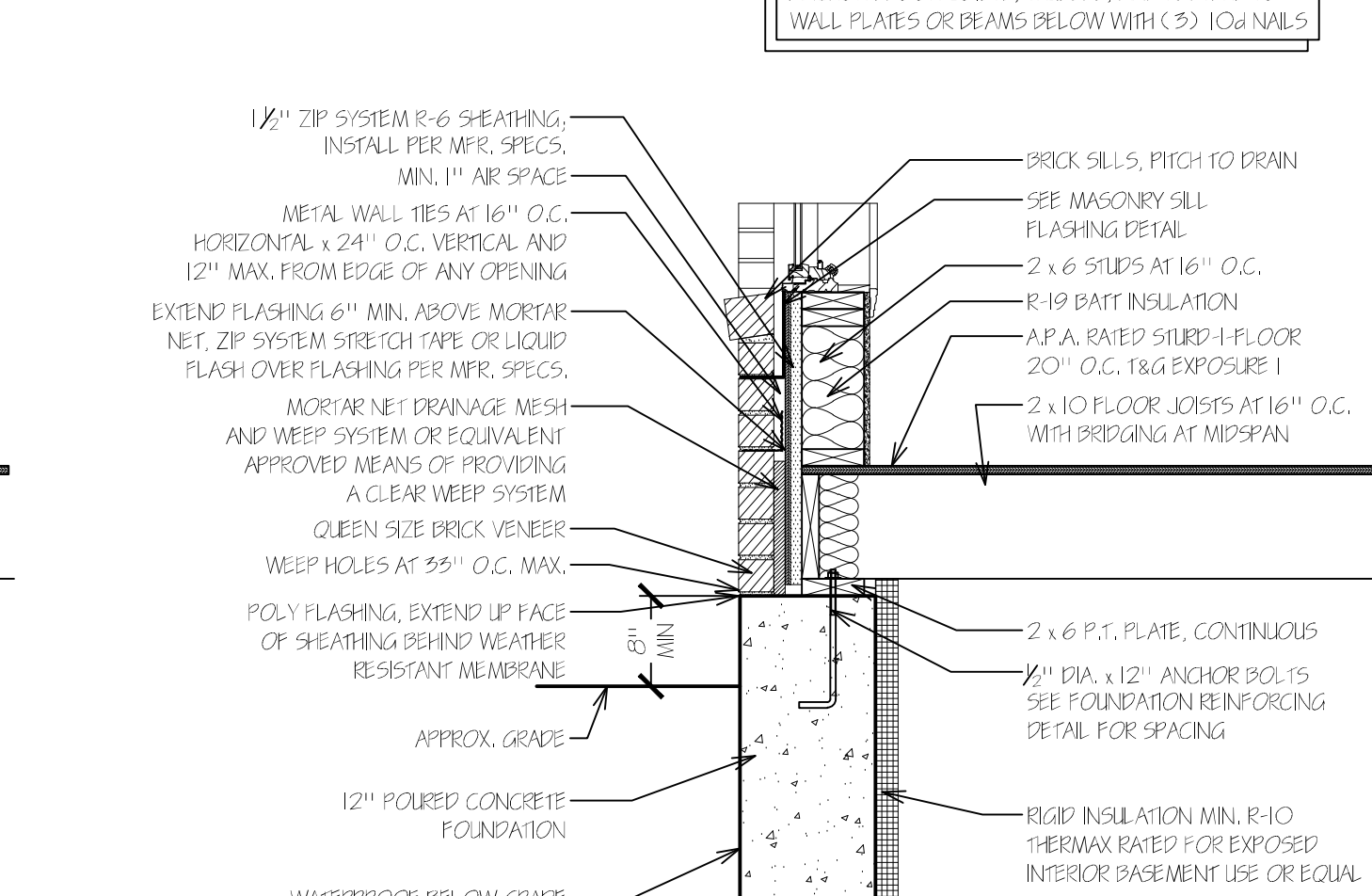
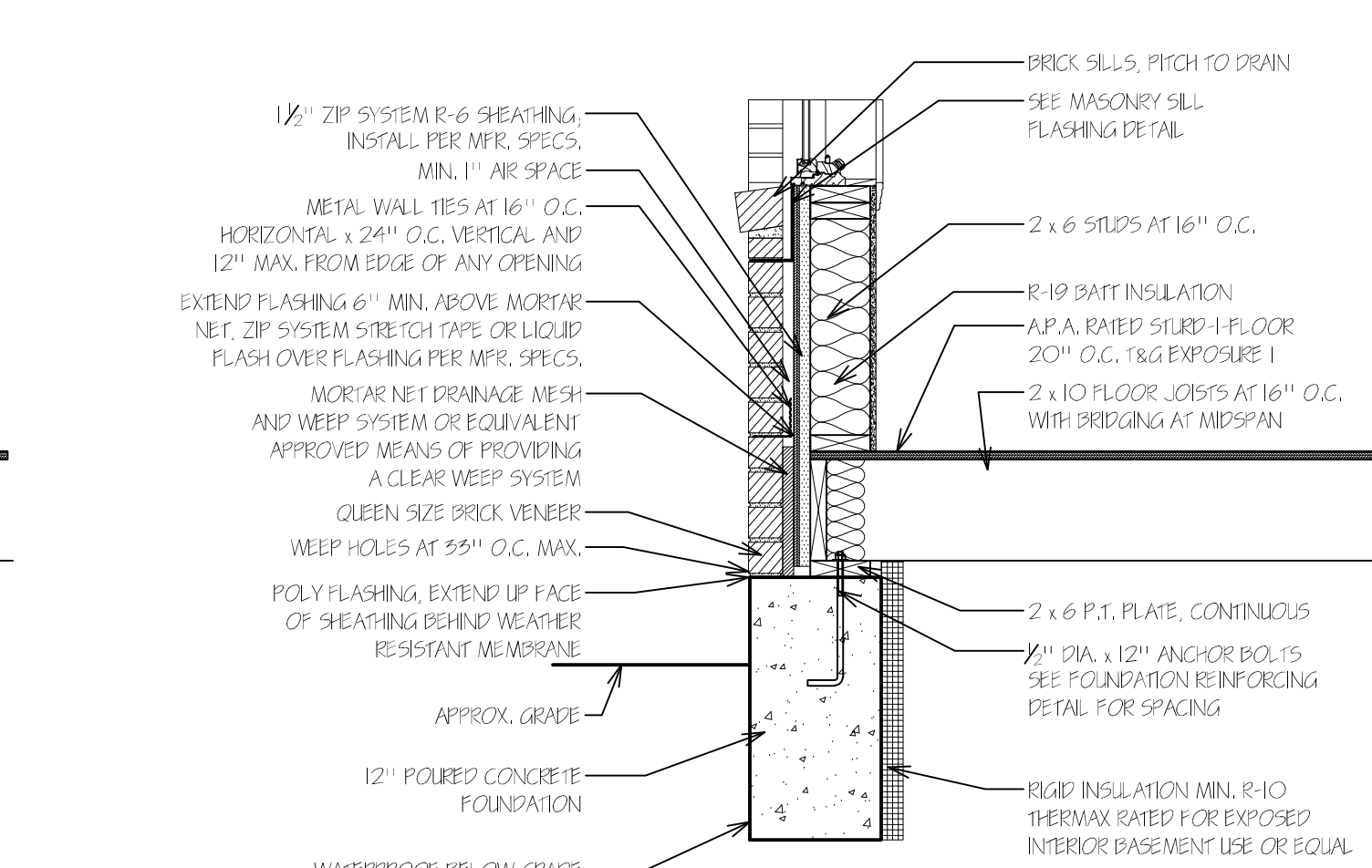
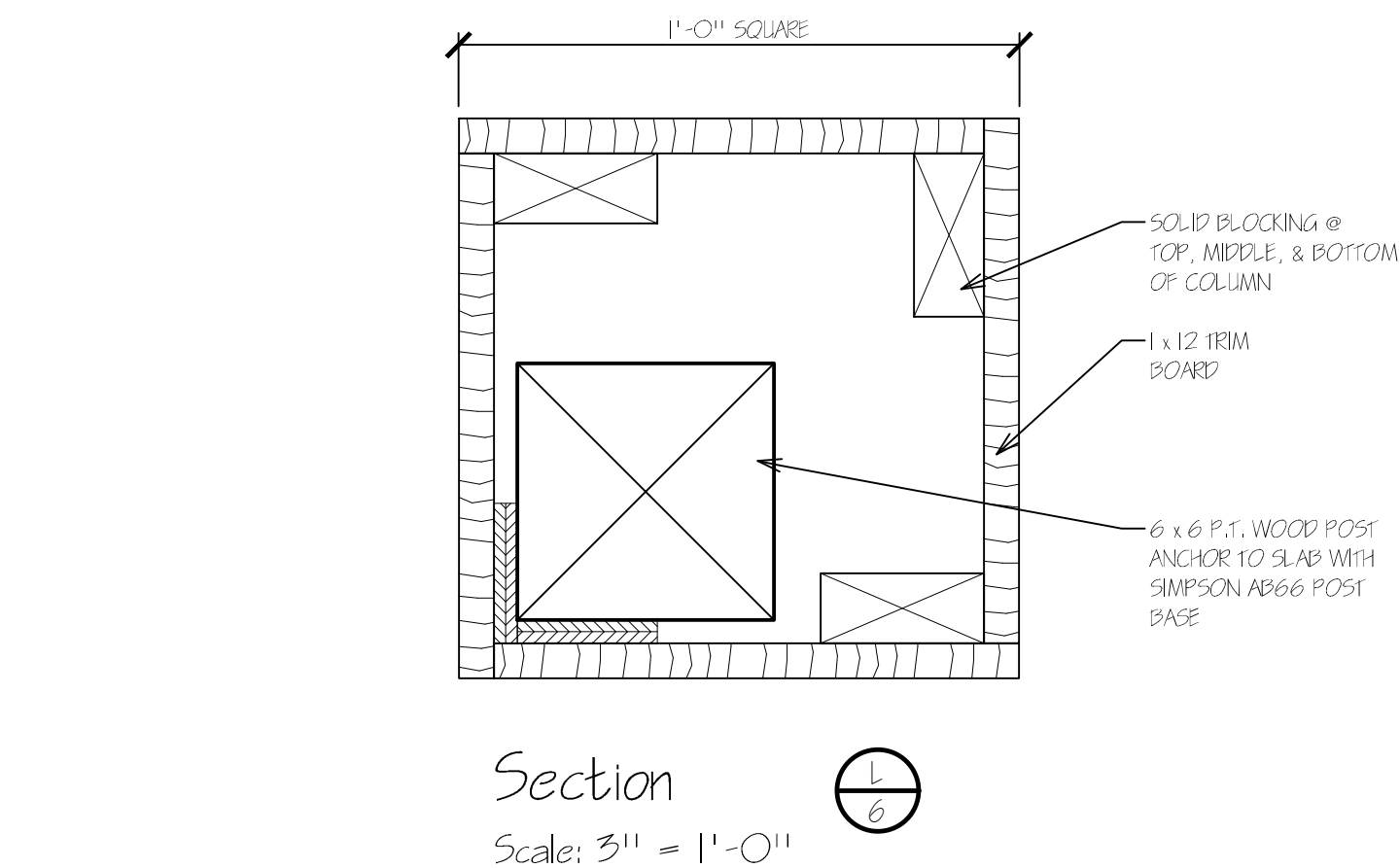
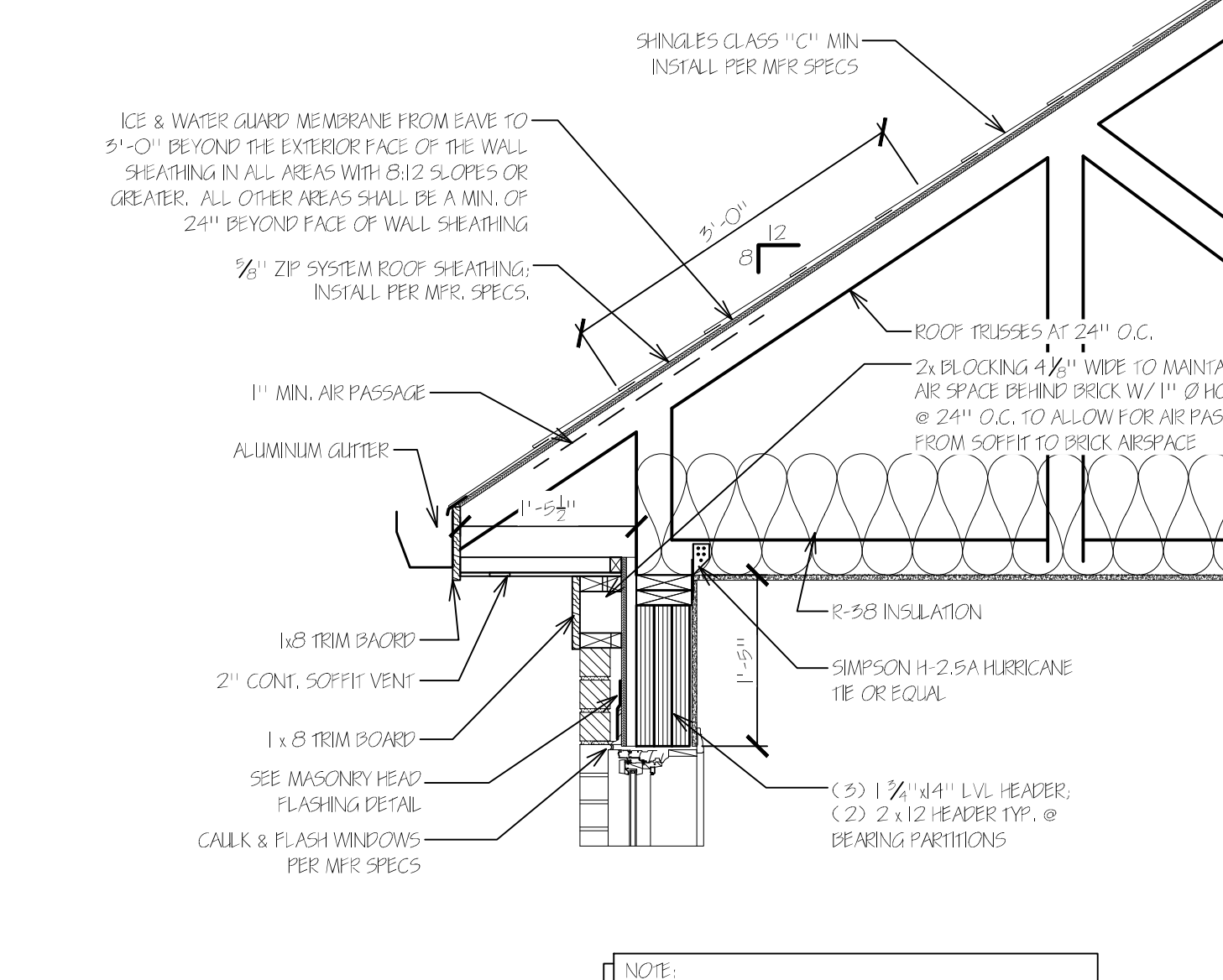
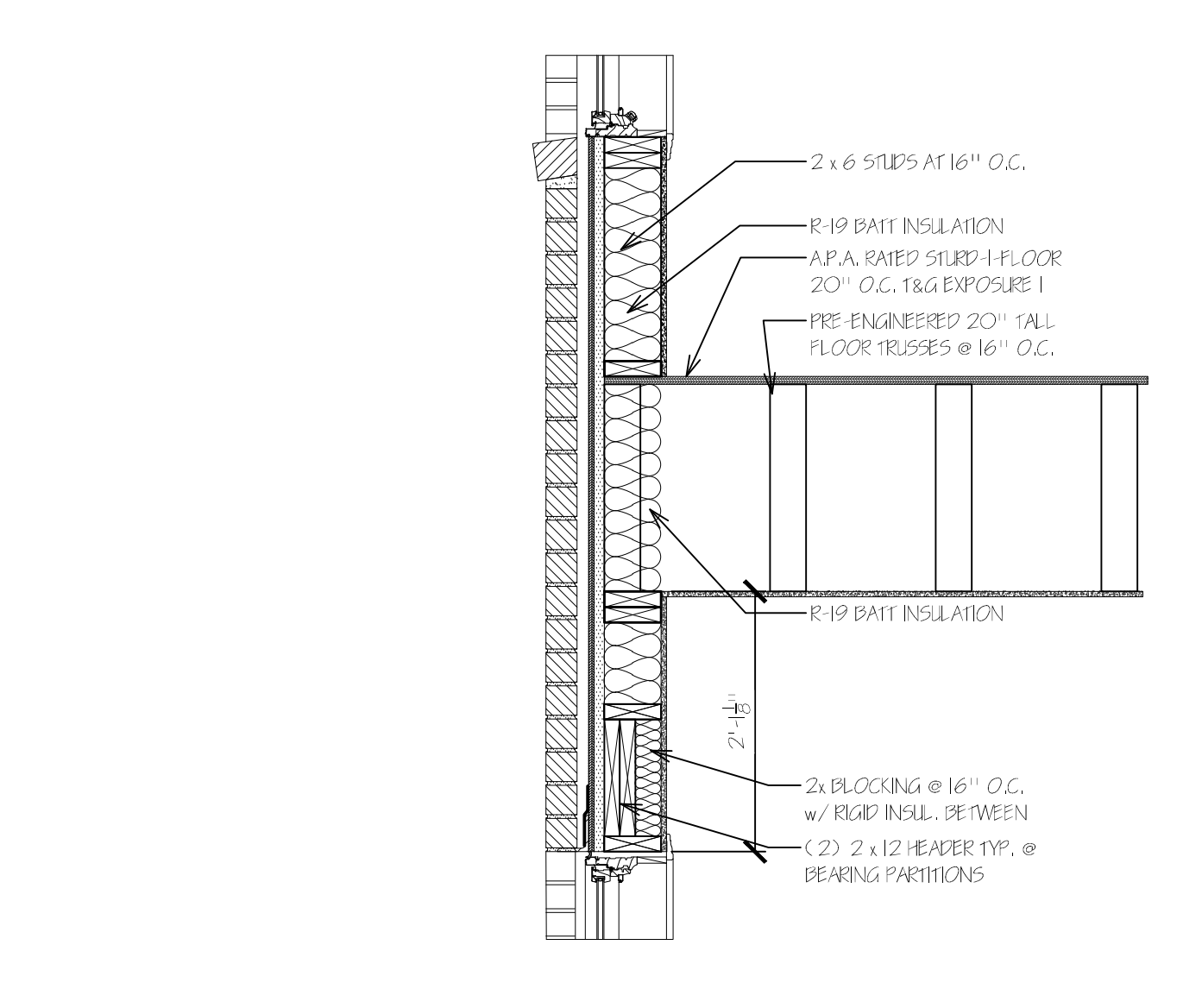
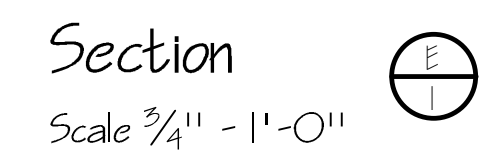
1. SMOKE DETECTORS ARE REQUIRED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA, AND ON EACH BUILDING LEVEL, ON EACH LEVEL. SMOKE ALARMS SHALL BE BATTERY OPERATED. DETECTION TECHNOLOGIES SHALL BE INSTALLED. SMOKE DETECTORS TO BE WIRED INTO HOUSE CURRENT W/ BATTERY BACKUP. INTERCONNECT SO IF ONE SOUNDS, THEY ALL SOUND, TYP. IN EVERY FLOOR.
2. AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN SLEEPING LINES WHICH HAVE FIRE ALARMS. INTERCONNECT SO IF ONE SOUNDS, THEY ALL SOUND, TYP. IN EVERY FLOOR.
3. VENT BATH EXHAUST FANS TO OUTSIDE, PITCHED.
4. SET TOP OF WINDOW OPENINGS 7" TO 1/2" ABOVE FLOOR, UNLESS NOTED OTHERWISE.
5. EXTERIOR EXTERIORS AGAIN TO MATCH FOUNDATION. ACTUAL Masonry DIMENSIONS TO PROJECT 1/2" FROM FOUNDATION TO ALLOW FOR AIR SPACE TO SHEATHING.
6. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS ARE 5/8" (2 x 4) FRAMING @ 16" O.C.
7. FURNACE TO BE U.S. APPROVED HIGH-EFF. GAS UNIT W/ AIR CONDITIONING. PROVIDE CURTAIN WALL AIR FOR COMBUSTION & DRAIN LINE FOR CONDENSATION. INSTALL LINE IN PAN W/ SAFETY FLOW SWITCH OR PROVIDE SECONDARY DRAIN LINE FROM PAN INTO DRAIN SYSTEM.
8. GAS WATER HEATER TO BE U.S. APPROVED, VENT AS REQUIRED. PROVIDE CURTAIN WALL FOR COMBUSTION. INSTALL LINE IN PAN W/ SAFETY FLOW SWITCH OR PROVIDE SECONDARY DRAIN LINE FROM PAN INTO DRAIN SYSTEM.
9. ELECTRICAL SHALL COMPLY WITH REGIONS AND NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED EQUIPMENT SHALL CONTAIN ONLY HIGH-EFFICIENCY LAMPS.
10. CERAMIC TILE SHOWER WITH TEMPLER GLASS SURROUND AND DOOR.
11. CERAMIC TILE SHOWER.
12. ATIC OVER SECOND FLOOR TO BE CONDITIONED.
13. EXTERIOR PORCH FLOOR TO HAVE CALIFORNIA CORNERS. COORDINATE WITH OWNER.
14. ALL INTERIOR DOORS TO BE 6'-0" OR TALL UNLESS OTHERWISE NOTED.

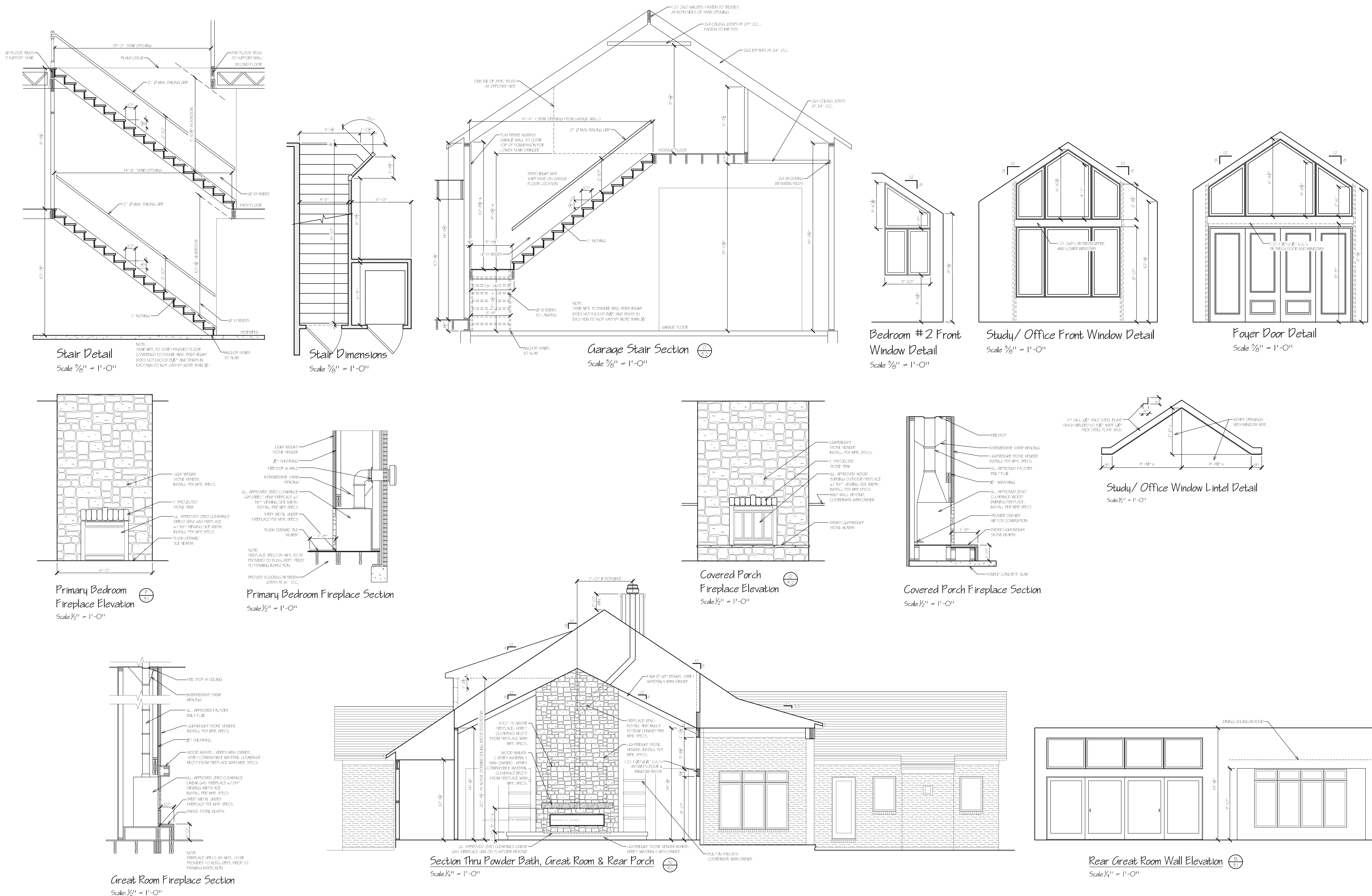


NO.	REVISIONS	DATE
1	Increase hall width from powder to primary suite; removed access at study; changed electrical room to reading room; added door between storage area and rest room; removed cabinet doors; revised galleys, hall bath & closet to include covered grill porch; added linen alcove; removed uncovered porches at front; revised accessible doors to min. 2'-0" wide; added note to state all doors to be 8' tall per owner request	08-12-25
DRAWN BY:	DATE:	



Typical Masonry Sill
Flashing Detail
Scale 1 1/2" = 1'-0"





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website: www.studerdesigns.com, Email: studer@studerdesigns.com

NO.	REVISIONS	DATE	DRAWN BY:	
			BAR	DATE
1	Issued for construction. All dimensions to be confirmed by field survey. All materials to be confirmed by field inspection. All work to be done in accordance with the latest edition of the International Building Code and the latest edition of the International Residential Code. All work to be done in accordance with the latest edition of the International Mechanical Code and the latest edition of the International Fire Code. All work to be done in accordance with the latest edition of the International Electrical Code and the latest edition of the International Plumbing Code. All work to be done in accordance with the latest edition of the International Fuel Gas Code and the latest edition of the International Energy Conservation Code. All work to be done in accordance with the latest edition of the International Building Code and the latest edition of the International Residential Code. All work to be done in accordance with the latest edition of the International Mechanical Code and the latest edition of the International Fire Code. All work to be done in accordance with the latest edition of the International Electrical Code and the latest edition of the International Plumbing Code. All work to be done in accordance with the latest edition of the International Fuel Gas Code and the latest edition of the International Energy Conservation Code.	08-12-25		11-21-24

Residence For
Sean & Janet Litherland
Lot #1, Meadowbrook Estates, Mason, OH 45040

Sheet
7

Kitchen Cabinet Layout
Scale $\frac{3}{8}" = 1'-0"$

Dirty Kitchen Cabinet Layout
Scale $\frac{3}{8}" = 1'-0"$

Laundry Cabinet Layout
Scale $\frac{3}{8}" = 1'-0"$

Door Sill Pan with Stucco Detail

Stucco Window Head Detail

Stucco Window Jamb Detail

Stucco Window Sill Detail

Sto Powerwall Stucco System Components

Stucco Wall to Roof Flashing Detail

Typical Stucco Lintel Soffit Detail

Sto Stucco to Lightweight Stone Veneer Wall Flashing and Expansion Joint Detail

Stucco Expansion Joint Detail

Through Stucco Penetration Detail

